

# GENERAL NOTES

- CODE COMPLIANCE**  
ALL WORK SHALL COMPLY WITH THE 2015 IBC, 2015 IMC, 2015 IFGC, 2015 IFPC, 2015 IPMC, 2008 NEC, 2015 INTERNATIONAL ENERGY CONSERVATION CODE WITH WASHINGTON STATE AMENDMENTS, 2009 ICC A117.1, AND WITH ALL LOCAL CODES AND ORDINANCES.
- DIMENSIONS**  
A. DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS PRIOR TO STARTING CONSTRUCTION. NOTIFY THE ARCHITECT OF DISCREPANCIES. IF WORK IS STARTED PRIOR TO NOTIFICATION, THE GENERAL AND SUBCONTRACTOR PROCEED AT THEIR OWN RISK.  
B. UNLESS OTHERWISE NOTED, PLAN DIMENSIONS ARE TO FACE OF STUDOS OR FACE OF CONCRETE WALLS. FACE OF STONE VENER LIES 0" +/- OUTSIDE THE FACE OF FINISH. INTERIOR PLAN DIMENSIONS ARE TO FACE OF STUDS UNLESS OTHERWISE NOTED.  
C. VERIFY ALL ROUGH-IN DIMENSIONS FOR WINDOWS, DOORS, PLUMBING, ELECTRICAL FIXTURES AND APPLIANCES PRIOR TO COMMITMENT OF WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES OF DIMENSIONAL TOLERANCES REQUIRED.
- DOCUMENT REVIEW/VERIFICATION**  
CONSULT WITH ARCHITECT REGARDING ANY SUSPECTED ERRORS, OMISSIONS, OR CHANGES ON PLANS BEFORE PROCEEDING WITH THE WORK.  
ROUGH OPENINGS/BACKING:  
VERIFY SIZE AND LOCATION, AS WELL AS PROVIDE ALL OPENINGS THROUGH FLOORS AND WALLS, FURRING, CURBS, ANCHORS, INSERTS, EQUIPMENT BASES AND ROUGH BUCKS/BACKING FOR SURFACE-MOUNTED ITEMS.  
FURRING:  
PROVIDE FURRING AS REQUIRED TO CONCEAL MECHANICAL AND/OR ELECTRICAL EQUIPMENT IN FINISHED AREAS. FURRING NOT SHOWN ON PLANS SHALL BE APPROVED BY ARCHITECT PRIOR TO CONSTRUCTION.  
GRADERS: VERIFY ALL GRADERS AND THEIR RELATIONSHIP TO THE BUILDING(S).  
FLOOR LINES: "FLOOR LINE" REFERS TO TOP OF CONCRETE SLAB OR TOP OF WOOD SUBFLOOR.  
REPETITIVE FEATURES: OFTEN DRAWN ONLY ONCE AND SHALL BE PROVIDED AS IF FULLY DRAWN.  
DOORS:  
DOORS NOT DIMENSIONALLY LOCATED SHALL BE 6" FROM STUD FACE TO EDGE OF DOOR, ROUGH OPENING OR CENTER BETWEEN WALLS AS SHOWN.  
WOOD MEMBERS IN CONTACT WITH CONCRETE, AND/OR EXPOSED TO WEATHER: TO BE PRESSURE TREATED. TYPICAL. PROVIDE PRESSURE TREATED SILL PLATE IF FINISH GRADE IS WITHIN 8", TYPICAL.
- FRAMING**  
ALL NEW INTERIOR FRAME PARTITIONS TO BE 2X4 @ 16" O.C., & ALL NEW EXTERIOR FRAME PARTITIONS TO BE 2X6 @ 16" O.C., UNLESS OTHERWISE NOTED. VERIFY W/ STRUCTURAL DRAWINGS. EXISTING EXTERIOR WALLS ARE 2X4 STUDS @ 16" O.C. AND ARE TO REMAIN.
- VENTILATION**  
VENT ALL BATHROOM FANS, LAUNDRY FANS, RANGE HOODS AND DRYERS TO OUTSIDE ATMOSPHERE. BATHROOM UTILITY FANS SHALL BE CAPABLE OF 5 AIR CHANGES PER HOUR AND SHALL BE VENTED DIRECTLY TO THE OUTSIDE THROUGH SMOOTH, RIGID, NON-CORROSIVE METAL, 24 GA. DUCTWORK. FLEX DUCTING IS NOT ALLOWED.  
FLUES: FLUES TO BE LOCATED MINIMUM 2" FROM ALL COMBUSTIBLE MATERIALS.  
DOWNSPOUTS: LOCATE NEW DOWNSPOUTS AS SHOWN ON ROOF PLAN, FLOOR PLANS & ELEVATIONS.  
OTHER DOCUMENTATION: REFER TO STRUCTURAL, MECHANICAL, ELECTRICAL, AND/OR LANDSCAPE DRAWINGS FOR ADDITIONAL DRAWINGS, NOTES, SCHEDULES, AND SYMBOLS.
- PROTECTION**  
PROTECT ALL EXISTING FINISHES AND SURFACES. ANY DAMAGE WILL BE REPAIRED WITHOUT ADDITIONAL COST TO OWNER.
- PERMITS**  
SEPARATE ELECTRICAL, MECHANICAL, AND PLUMBING PERMITS ARE REQUIRED IN ADDITION TO THE BASIC BUILDING PERMIT
- ROOFING**  
PROVIDE NEW ROOFING TO MATCH EXISTING.
- EXHAUST DUCTS**  
PROVIDE BACKDRAFT DAMPERS AT ALL EXHAUST DUCTS. PROVIDE COMBUSTION AIR OPENINGS INTO FURNACE ROOM PER UMC 703.
- APPLIANCES**  
CLEARANCES OF UL LISTED APPLIANCES FROM COMBUSTIBLE MATERIALS SHALL BE AS SPECIFIED IN UL LISTING.
- WATER FLOW**  
SHOWER SHALL BE EQUIPPED WITH FLOW CONTROL DEVICE TO LIMIT WATER FLOW TO 2.5 GALLONS PER MINUTE.
- SMOKE DETECTORS**  
SMOKE & CARBON MONOXIDE THROUGHOUT NEW CONSTRUCTION. TO BE MONITORED PER FIRE DEPARTMENT REQUIREMENTS.
- FIREBLOCKING**  
FIREBLOCKING SHALL BE PROVIDED IN WOOD-FRAMED CONSTRUCTION PER 2015 IRC SECTION R302.11, SPECIFICALLY: 1) IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, 2) AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES, 3) IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT T.O.S. & B.O. RUN, 4) AT OPENINGS AROUND VENTS, PIPES, ETC. AT CEILING AND FLOOR LEVEL.

# PROJECT DATA

**PROJECT ADDRESS:** 6060 E. MERCER WAY  
MERCER ISLAND, WA

**PROPERTY TAX ID NUMBER:** 192405-5269

**SCOPE OF WORK:** LOWER: ADDITION OF ELEVATOR, NEW STAIRS, NEW WINDOWS AND DOORS  
MAIN: NEW ELEVATOR, NEW STAIRS, NEW WINDOWS AND DOORS, RECONFIGURATION OF KITCHEN/DINING  
UPPER: NEW ELEVATOR, NEW STAIRS, NEW RAISED PITCHED ROOF W/ SKYLIGHT, RECONFIGURATION OF MASTER SUITE, NEW WINDOWS AND DOORS

**ZONING:** R-15  
**ZONING:** TYPE V-B  
**CONSTRUCTION TYPE:** 3  
**SEISMIC ZONE:** 2  
**NUMBER OF STORIES:** 2 STOREY + DAYLIGHT BASEMENT  
**FIRE PROTECTION:** NONE  
**BUILDING HEIGHT:** MAX. 30 FT ABOVE AVERAGE BUILDING ELEV.  
**GROSS FLOOR AREA:** 12,000 SF OR 40 % LOT AREA, WHICHEVER IS LESS  
**LOT AREA:** 18,087 SF  
**LOT WIDTH:** 80.0 FT  
**SETBACKS:** FRONT LOT LINE = 20 FT  
REAR LOT LINE = 25 FT  
SIDE LOT LINES = LOTS 3'90" WIDTH: SUM OF 15 FT, BOTH 25 FT

# PROJECT TEAM

**OWNER:** 6060 E. MERCER WAY  
MERCER ISLAND, WA 98040  
PHONE: 206.940.4611

**STRUCTURAL:** LONGITUDE ONE TWENTY  
PHONE: 206.790.9502  
CONTACT: MANS THURFJELL

**ARCHITECT:** STURMAN ARCHITECTS, INC.  
9 - 103RD AVE. NE, SUITE 203  
BELLEVUE, WA 98004  
PHONE: 425.451.7003  
CONTACT: BRAD STURMAN

**CONTRACTOR:** MARCH-MACDONALD, INC.  
9725 SE 36TH ST, STE. 401  
MERCER ISLAND, WA 98040  
PHONE: 206.232.8464  
CONTACT: CLAY MARCH

# LEGAL DESCRIPTION

BEGINNING AT A POINT 110 FEET NORTHERLY OF THE SOUTH LINE OF SAID SECTION 19 AND 517 FEET EASTERLY OF THE EAST MARGIN OF EAST MERCER WAY; THENCE NORTHERLY ON A LINE PERPENDICULAR TO SAID SOUTH SECTION LINE FOR A DISTANCE OF 45 FEET TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING NORTHERLY ALONG SAID PERPENDICULAR LINE FOR A DISTANCE OF 55 FEET; THENCE EASTERLY ALONG A LINE PARALLEL TO AND 1200 FEET NORTHERLY OF SAID SOUTH LINE OF SECTION 19 TO THE SHORT OF LAKE WASHINGTON THENCE SOUTHERLY ALONG SAID SHORE OF LAKE WASHINGTON TO A LINE, PARALLEL TO AND 1100 FEET NORTHERLY OF SAID SOUTH LINE OF SECTION 19 THENCE WESTERLY ALONG SAID PARALLEL LINE TO A POINT 475 FEET EASTERLY OF THE EAST RIGHT OF WAY MARGIN OF EAST MERCER WAY; THENCE NORTHEASTERLY IN A STRAIGHT LINE OF A DISTANCE OF APPROXIMATELY 62.94 FEET TO THE TRUE POINT OF BEGINNING

# 2015 WSEC CREDITS

THIS PROJECT IS CREATING LESS THAN 500 SF OF CONDITIONED SPACE, SO NO CREDITS ARE REQUIRED.

# CUT/FILL

CUT = 0 C.Y.  
FILL = 0 C.Y.

# LEGEND:

- GRADE MAJOR CONTOUR
- GRADE MINOR CONTOUR
- SILT FENCE
- TREE PROTECTION FENCING
- POWER LINE
- GAS LINE
- TELEPHONE
- WATER LINE
- SANITARY SEWER LINE
- STORM DRAIN LINE
- AREA OF NEW OR REPLACED IMPERVIOUS
- AREA OF EXISTING IMPERVIOUS TO REMAIN
- AREA OF EXISTING IMPERVIOUS TO BE REMOVED

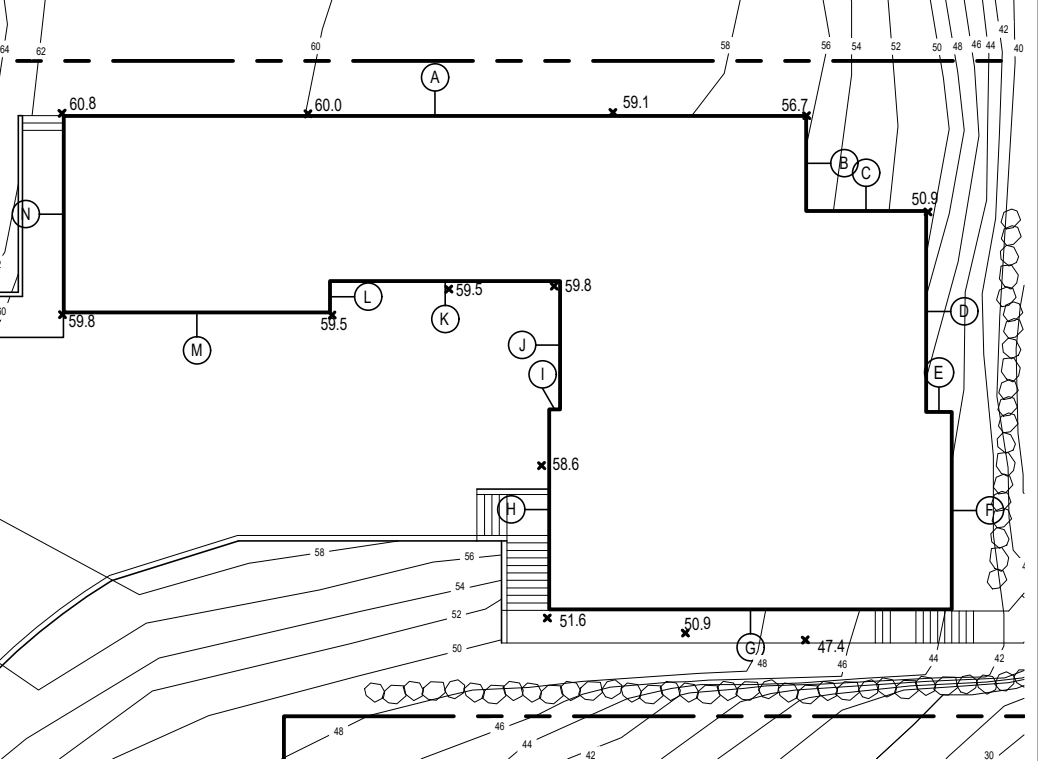
# ENERGY NOTES

- CODE:** 2015 W.S.E.C. & 2015 IRC, WAC 51-11R CLIMATIC ZONE: ZONE #C - MARINE
- SPACE HEAT TYPE:** NATURAL GAS, FORCED AIR SYSTEM THERMAL STANDARDS UNLIMITED OPTION
- INSULATION VALUES:** WALLS: R-21  
FLAT ATTICS/CEILINGS: R-49  
VAULTED CEILINGS: R-36  
FLOORS (OVER UNHEATED SPACES): R-30  
SLAB-ON-GRADE: R-10
- PRESCRIPTIVE METHOD:** AIR INFILTRATION: MANUFACTURED DOORS/WINDOWS: CONFORM TO SECTION R402.4.3 OF THE WASHINGTON STATE ENERGY CODE
- AIR INFILTRATION:** EXTERIOR JOINTS/OPENINGS: SEAL, CAULK, GASKET OR WEATHERSTRIP TO LIMIT AIR LEAKAGE AT EXTERIOR JOINTS AROUND WINDOW AND DOOR FRAMES, OPENINGS BETWEEN WALLS AND FOUNDATION, BETWEEN WALLS AND ROOF, OPENINGS AT PENETRATIONS OF UTILITY SERVICES AND ALL OTHER SUCH OPENINGS IN THE BUILDING ENVELOPE
- MOISTURE CONTROL:** WALLS: VAPOR RETARDER BONDED TO BATT INSULATION. INSTALL WITH STAPLES NOT MORE THAN 8 INCHES ON CENTER AND WITH A GAP BETWEEN AND OVER FRAMING NOT GREATER THAN 1/16 OF AN INCH. OR, VAPOR RETARDER OF ONE PERM CUP RATING (4 MIL POLYETHYLENE)
- ATTICS/CEILINGS:** VAPOR RETARDER OF ONE PERM CUP RATING (4 MIL POLYETHYLENE). INSTALL CONTINUOUSLY
- VENTILATION:** CRAWL SPACE: 6 MIL POLYETHYLENE  
ATTICS WITH LOOSE FILL: N.A. BAFFLE VENT OPENINGS TO DEFLECT AIR ABOVE INSULATION SURFACE ENCLOSED JOIST OR RAFTER SPACES: PROVIDE MINIMUM OF ONE INCH CLEAR VENTED AIR SPACE ABOVE INSULATION. TAPER OR COMPRESS INSULATION AT PERIMETER TO INSURE PROPER VENTILATION, MAINTAINING MINIMUM OF R-38.
- HEATING & COOLING:** AIR SOURCE HEAT PUMP W/ MIN HSPF OF 9.0
- TEMP. CONTROL:** FOR HEATING AND COOLING, THERMOSTAT SHALL BE CAPABLE OF BEING SET FROM 55-85 DEGREES FAHRENHEIT AND OF OPERATING THE HEATING/COOLING SYSTEM IN SEQUENCE. THERMOSTAT TO BE AUTOMATIC DAY/NIGHT SETBACK TYPE.
- DUCT INSULATION:** THERMALLY INSULATE ALL PLENUMS, DUCTS AND ENCLOSURES IN ACCORDANCE WITH SECTION R403.3.1 OF THE WASHINGTON STATE ENERGY CODE
- a. ALL HEATING DUCTS IN UNCONDITIONED SPACES SHALL BE INSULATED WITH A MIN. OF R-8. ALL SEAM JOINTS SHALL BE TAPED, SEALED AND FASTENED WITH THE MINIMUM OF FASTENERS PER WSEC.  
b. DUCTS WITHIN A CONCRETE SLAB OR IN THE GROUND SHALL BE INSULATED TO R-10, WITH INSULATION DESIGNED TO BE USED BELOW GRADE.
- LIGHTING:** RECESSED LIGHTING FIXTURES INSTALLED IN BUILDING ENVELOPE SHALL COMPLY WITH WSEC PROVISIONS AND SHALL BE IC LISTED.
- PIPE INSULATION:** ALL HOT WATER PIPES, AND NON-RECIRCULATING COLD WATER PIPES LOCATED IN UNCONDITIONED SPACES SHALL BE INSULATED TO R-3 MIN. PLUMBING OR MECHANICAL CANNOT DISPLACE THE REQUIRED INSULATION.
- WHOLE HOUSE VENTILATION:** WHOLE HOUSE VENTILATION SYSTEM:  
a. WHOLE HOUSE VENTILATION SHALL BE PROVIDED BY EXHAUST FAN PROVIDING 195 CFM RUNNING CONTINUOUSLY PER 2015 IRC TABLE M1507.3.3 (1)(2). FAN SHALL BE LESS THAN .35 WATT PER CFM AND CONNECTED TO A 24 HOUR CLOCK TIMER AND HAVE A SONE RATING OF LESS THAN 1.0. VENTILATION SHALL BE ABLE TO OPERATE INDEPENDENTLY OF HEATING SYSTEM.  
b. SYSTEM SHALL HAVE A 5"Ø SMOOTH FRESH AIR DUCT W/ Louver & SCREEN CONNECTED TO THE RETURN AIR STREAM 4' UPSTREAM OF THE AIR HANDLER AND INSULATED W/ R-4 MIN IN HEATED AREAS.  
c. SHALL HAVE A FILTER WITH A MERV OF AT LEAST 6 INSTALLED IN AN EASILY ACCESSIBLE LOCATION.  
d. FRESH AIR VENT SHALL BE LOCATED AWAY FROM SOURCES OF ODORS OR FUMES, MIN 10' FROM PLUMBING OR APPLIANCE VENTS, AWAY FROM ROOMS W/ FUEL BURNING APPLIANCES, AND OUT OF ATTICS, CRAWL SPACES, AND GARAGES.  
e. AIRFLOW FOR WHOLE HOUSE EXHAUST FAN SHALL BE PROVIDED BY UNDERCUTTING INTERIOR DOORS 1/2" ABOVE FINISHED FLOOR, TYP.
- PLUMBING FIXTURES:** ALL PLUMBING FIXTURES SHALL CONFORM TO RCW 19.27.170  
ALL TOILETS 1.6 GPM MAX URINALS 1.0 GPM MAX  
SHOWERHEADS <1.75 GPM FAUCETS 2.5 GPM MAX LAVATORIES <1.0 GPM

# ABE CALCS

AVERAGE BUILDING ELEVATION			
	Wall Length	Elevation Pt.	Wall Length X Elev. Pt.
A	90.625	59.5	5392.1875
B	11.625	55.0	639.375
C	14.65	53.0	776.45
D	24.5	47.0	1151.5
E	3.125	45.0	140.625
F	24.125	44.0	1061.5
G	49	49.0	2401
H	24.42	55.9	1365.078
I	1.33	59.2	78.736
J	15.667	59.2	927.4864
K	28.1	59.5	1671.95
L	3.83	59.5	227.885
M	32.5	59.5	1933.75
N	24	380.3	8647.2
		<b>290.997</b>	<b>645.8</b>
		<b>15833.7729</b>	<b>15833.7729</b>
		<b>54.41</b>	<b>Average Building Elevation</b>

# ABE KEY PLAN NO SCALE



# LOT COVERAGE (IMPERVIOUS AREA)

	GROSS LOT S.F.	MAIN STRUCT. & ROOF S.F.	DRIVES/ PARKING/	TOTAL LOT COVERAGE	% LOT COVERAGE
EXISTING IMPERVIOUS AREA	18,087 SF	4762 SF	2280 SF	7042 SF	38.9 %
PROPOSED IMPERVIOUS AREA		4762 SF	2280 SF	7042 SF	38.9 %
NET GAIN/LOSS IMPERVIOUS AREA		+0 SF	+0 SF	+0 SF	+0 %
% ALLOWED IMPERVIOUS AREA				6330.45 SF ALLOWABLE	35 %

FRONT STEPS	CONC STEPS	MAIN DECK	LOWER DECK	STAIRS & PAVER PATH	CONC PATIO	OPEN DECK	TOTAL HARDSCAPE	% IMPERVIOUS
75.7 SF	71 SF	295.9 SF	67 SF	383.2 SF	374.7 SF	309 SF	1576.16 SF	8.7 %
75.7 SF	71 SF	362.6 SF	0 SF	383.2 SF	374.7 SF	309 SF	1576.16 SF	8.7 %
+0 SF	+0 SF	+67 SF	-67 SF	+0 SF	+0 SF	+0 SF	+0 SF	+2 %
							1627.83 SF ALLOWABLE	9 %

HIGHEST EL: 70.1' - LOWEST EL: 18.7' ELEVATION DIFFERENCE= 51.4'

47.0' DIVIDED BY 210.0' (HORZ. DIST. BTWN. HIGHEST & LOWEST ELEV.) = 245

LOT SLOPE IS 24.5%, WHICH IS GREATER THAN 15% SO LOT COVERAGE ALLOWED IS 35%.

ADDITIONAL 9% OF LOT SIZE WILL DETERMINE ALLOWABLE HARDSCAPE SURFACE

# SHEET INDEX

- A1.0 COVER SHEET - GENERAL & ENERGY NOTES, LEGAL, PROJECT DATA, CUT-FILL CALC, INDEX, SITE PLAN
- SURVEY
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A2.2 UPPER FLOOR PLAN  
A2.3 ROOF PLAN  
A3.0 EXTERIOR ELEVATIONS  
A3.1 EXTERIOR ELEVATIONS  
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A4.2 BUILDING SECTIONS  
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SD-2 STRUCTURAL DETAILS  
SD-3 STRUCTURAL DETAILS

# BUILDING AREA

	LOWER FLOOR	MAIN FLOOR	UPPER FLOOR	HEATED SUB-TOTAL	ATTACHED GARAGE	GRAND TOTAL	UNHEATED DECKS
EXISTING HOUSE:	1446 SF	2759 SF	1888 SF	6093 SF	780 SF	6873 SF	1832 SF
PROPOSED CHANGES:	+135.7 SF	+15 SF	+7 SF	+157.7 SF	-+ 0 SF	+157.7 SF	+141 SF
PROPOSED HOUSE:	1581.7 SF	2774 SF	1895 SF	6250.7 SF	780 SF	7030.7 SF	1973 SF

# GROSS FLOOR AREA

MAX GFA FOR R-15 IS EITHER 12,000 SQUARE FEET OR 40% OF THE LOT AREA, WHICHEVER IS LESS

40% OF 18,087 SF = 7,234.8 SF, SO THIS IS THE MAX ALLOWABLE GFA.

THE PROPOSED GROSS FLOOR AREA OF THIS RESIDENCE IS AS FOLLOWS:

LOWER FLOOR: 1581.7 SF  
MAIN FLOOR: 3554 SF  
UPPER FLOOR: 1895 SF  
TOTAL: 7030.7 SF

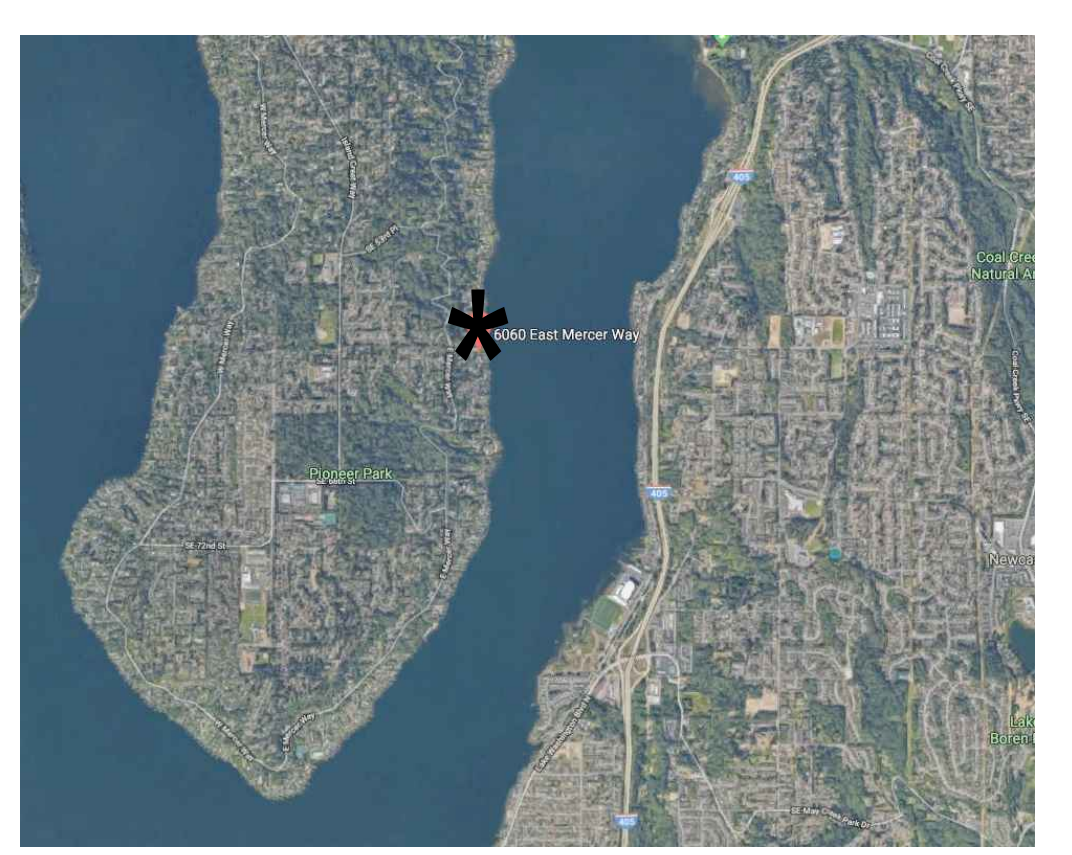
ADDITIONS  
MASTER BEDROOM CEILING 12'-6" : 199.5 SF

SUBTRACTIONS  
UPPER FLOOR STAIR ALLOWANCE: 75 SF

GRAND TOTAL: 7155.2 SF OR 39.5%

7155.2 SF OF GROSS FLOOR AREA IS LESS THAN MAXIMUM 7,234.8 SF

# VICINITY MAP



# PHASE 2 GENERAL NOTES

REVISIONS:  
2018-03-27 DESIGN REVISIONS  
2018-04-04 DESIGN REVISIONS  
2019-11-20 PERMIT CORRECTIONS  
2020-02-06 FRAMING REVISIONS  
2020-04-29 ABE REVISION

DRAWN BY: KE  
CHECKED BY: BUS  
SHEET: A1.0  
PLOT DATE: 4/23/2020

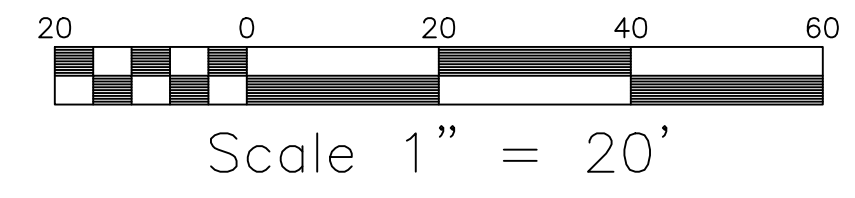
**BAYLEY RESIDENCE CONSTRUCTION SET**  
6060 E. MERCER WAY  
MERCER ISLAND, WA 98040

**PHASE 2 GENERAL NOTES**  
**GENERAL SITE PLAN**

SCALE: IF SHEET IS LESS THAN 24" X 36", IT IS A REDUCED PRINT; REDUCE SCALE ACCORDINGLY  
CONSTRUCTION SET 04/23/20  
PLOT DATE: 4/23/2020

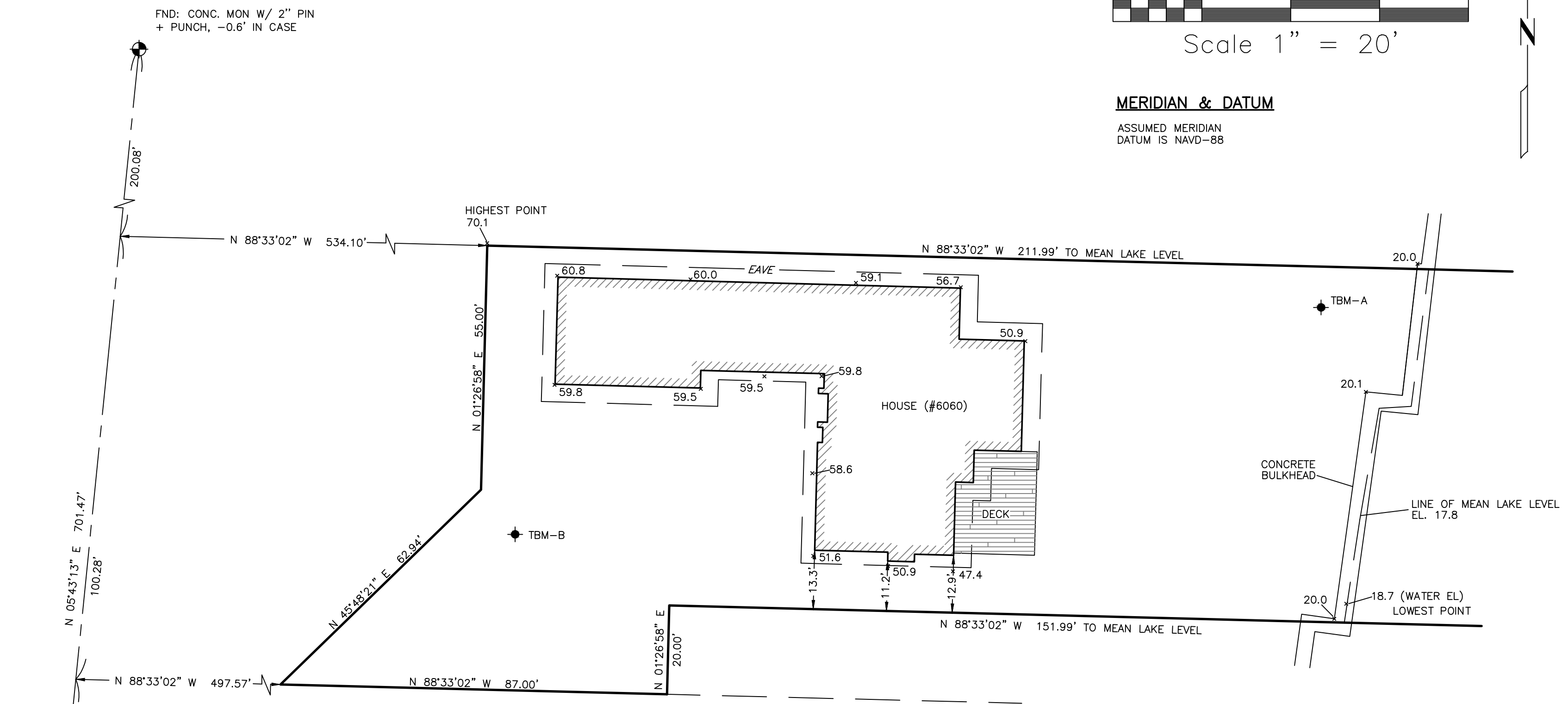
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04/23/20



**MERIDIAN & DATUM**

ASSUMED MERIDIAN  
DATUM IS NAVD-88



EAST MERCER WAY

**LOT AREA**

LAND AREA COMPUTED TO THE MEAN LAKE LEVEL OF 17.8 FEET NAVD 88 DATUM IS 18,087 SQ. FT.

**EQUIPMENT & PROCEDURES**

FIELD SURVEY CONDUCTED USING A COMBINATION OF GPS USING A REFERENCE NETWORK AND A 3" ELECTRONIC TOTAL STATION WAS USED FOR THIS FIELD TRAVERSE SURVEY. SURVEY PROCEDURES MEET OR EXCEED STATE STANDARDS AS SPECIFIED BY W.A.C. 332-130 WITH REGARD TO LINEAR AND ANGULAR CLOSURES. ALL MEASURING INSTRUMENTS FOR THIS SURVEY HAVE BEEN MAINTAINED ACCORDING TO MANUFACTURERS SPECIFICATIONS AND HAVE BEEN COMPARED WITH A NATIONAL GEODETIC SURVEY CALIBRATED BASELINE WITHIN THE LAST 12 MONTHS.

**LEGAL DESCRIPTION**

THAT PORTION OF GOVERNMENT LOT 4 AND SECOND CLASS SHORELANDS ADJOINING SECTION 19, TOWNSHIP 24 NORTH, RANGE 5 EAST W.M., DESCRIBED AS FOLLOWS:  
BEGINNING AT A POINT 1,100 FEET NORTHERLY OF THE SOUTH LINE OF SAID SECTION 19 AND 517 FEET EASTERLY OF THE EAST MARGIN OF EAST MERCER WAY; THENCE NORTHERLY ON A LINE PERPENDICULAR TO SAID SOUTH SECTION LINE FOR A DISTANCE OF 45 FEET TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING NORTHERLY ALONG SAID PERPENDICULAR LINE FOR A DISTANCE OF 55 FEET; THENCE EASTERLY ALONG A LINE PARALLEL TO AND 1,200 FEET NORTHERLY OF SAID SOUTH LINE OF SECTION 19 TO THE SHORE OF LAKE WASHINGTON THENCE SOUTHERLY ALONG SAID SHORE OF LAKE WASHINGTON TO A LINE; PARALLEL TO AND 1,100 FEET NORTHERLY OF SAID SOUTH LINE OF SECTION 19; THENCE WESTERLY ALONG SAID PARALLEL LINE TO A POINT 475 FEET EASTERLY OF THE EAST RIGHT OF WAY MARGIN OF EAST MERCER WAY; THENCE NORTHEASTERLY IN A STRAIGHT LINE OF A DISTANCE OF APPROXIMATELY 62.94 FEET TO THE TRUE POINT OF BEGINNING.

TOGETHER WITH SHORELANDS ADJOINING;  
EXCEPT THE FOLLOWING DESCRIBED TRACT;

BEGINNING AT A POINT ON A LINE WHICH IS PARALLEL TO AND 1,100 FEET NORTHERLY OF THE SOUTH LINE OF SAID SECTION 19 AND IS ALONG 560 FEET EASTERLY OF THE EAST RIGHT OF WAY MARGIN OF EAST MERCER WAY; THENCE NORTHERLY AT RIGHT ANGLES TO SAID SOUTH SECTION LINE FOR A DISTANCE OF 20 FEET; THENCE EASTERLY AND PARALLEL TO SAID SOUTH SECTION LINE TO THE SHORE LINE OF LAKE WASHINGTON; THENCE ALONG SAID SHORE OF LAKE WASHINGTON TO A POINT ON SAID LINE WHICH IS 1,100 FEET NORTHERLY OF AND PARALLEL TO THE SOUTH LINE OF SAID SECTION 19; THENCE WESTERLY ALONG SAID PARALLEL LINE TO THE POINT OF BEGINNING;

TOGETHER WITH SHORELANDS ADJOINING;  
ALSO TOGETHER WITH AN EASEMENT FOR ROAD AND UTILITY PURPOSES OVER A PORTION OF SAID GOVERNMENT LOT 4, AS ESTABLISHED UNDER INSTRUMENT RECORDED UNDER RECORDING NO. 4712247;

EXCEPT THAT PORTION OF THE NORTH 1/2 OF SAID EASEMENT LYING EASTERLY OF THE WESTERLY LINE OF THE MAIN TRACT DESCRIBED ABOVE;  
AND EXCEPT THAT PORTION OF THE SOUTH 1/2 OF SAID EASEMENT LYING EASTERLY OF A LINE 560 FEET EASTERLY OF THE EAST RIGHT-OF-WAY MARGIN OF EAST MERCER WAY;  
SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

**BENCHMARKS**

- ORIGINAL BM: 1/2" PIN ON CONC MONUMENT, -0.6' IN CASE AT INTERSECTION OF E MERCER WAY AND GLEN HOME ROAD. AKA GSOW ID BM-47810. ELEV. = 163.10
- TBM - A: SET PEN MARK. ELEV. = 24.72
- TBM - B: SET SCRIBED "X" IN CONCRETE. ELEV. = 58.94

**GENERAL NOTES**

1. WATER ELEVATION OBSERVED 5/2/19.
2. LOT AREA COMPUTED TO THE LINE OF MEAN LAKE LEVEL PER CORP OF ENGINEERS. THE ELEVATION CONVERTED TO NAVD 88 IS 17.8 FEET
3. NO PROPERTY CORNERS WHERE SET FOR THIS SURVEY.

FND: CONC. MON W/ 1" BRASS DISC + PUNCH, -1.3' IN CASE



4-18-19

REV. ADDED CONCRETE BULKHEAD AND SPOT ELEVATIONS -AA 5-6-19

<b>Tye Surveyors</b> PROFESSIONAL LAND SURVEYORS 10007 GREENWOOD AV. N. SEATTLE, WA. 98133 206-525-3660		
SCALE: 1"=20'	<b>RON BAYLEY</b>	DRAWN BY: RG
DATE: 4-18-19	<b>MARCH MCDONALD</b>	REVISED: TG
6060 E. MERCER WAY MERCER ISLAND, 98040		DRAWING NUMBER <b>19044</b>
<b>SITE PLAN</b>		
SE/4, SE1/4, SEC. 19, T. 24 N., R. 5 E., W.M.		

REVISIONS:	2019-03-27 DESIGN REVISIONS
	2019-04-06 DESIGN REVISIONS
	2019-11-20 PERMIT CORRECTIONS
	2020-02-06 FRAMING REVISIONS
	2020-04-29 ABE REVISION

DRAWN BY: KE

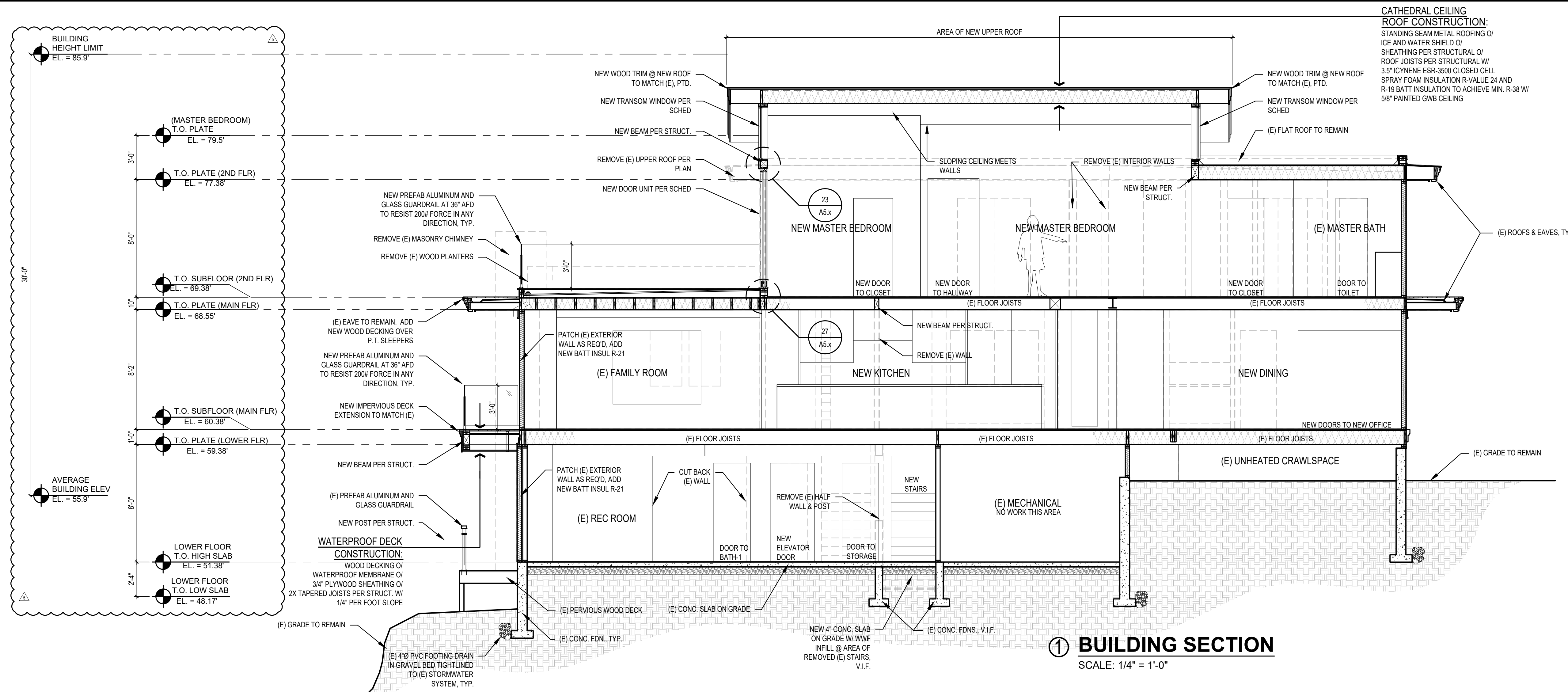
CHECKED BY: BJS

SHEET

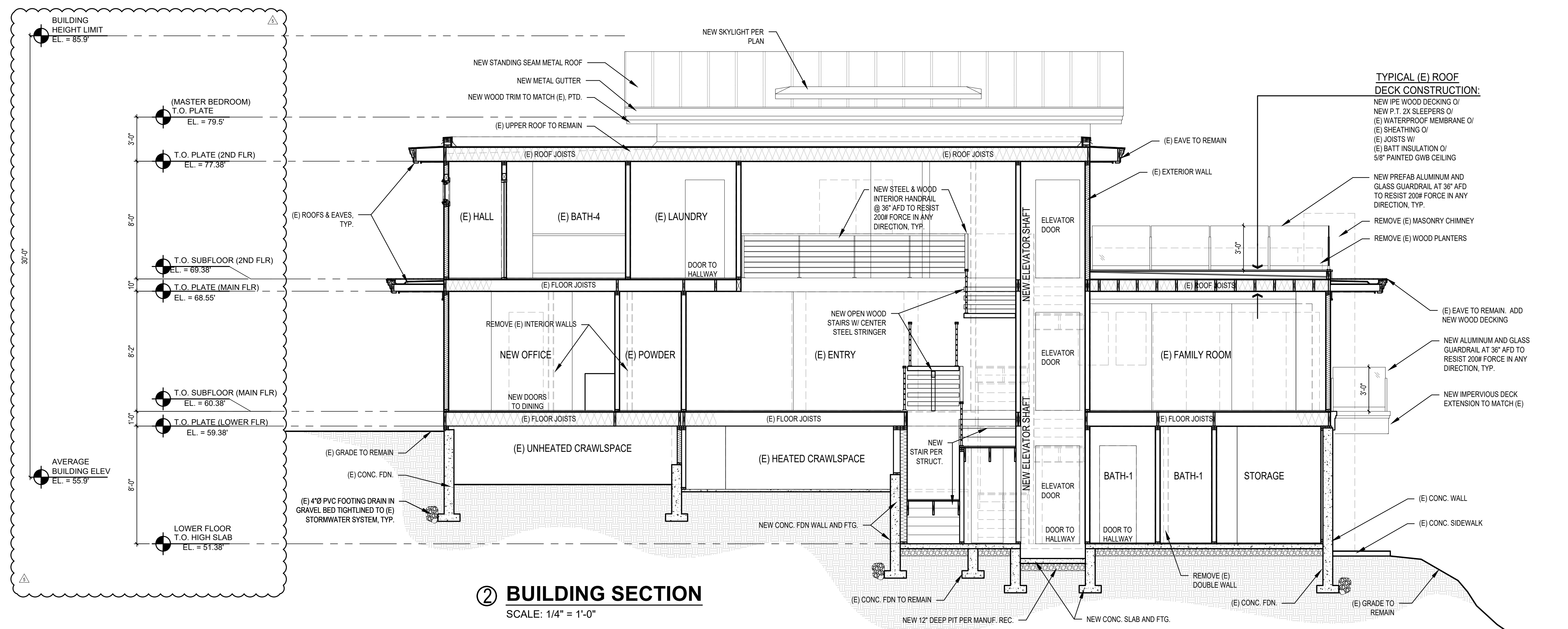
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SCALE: IF SHEET IS LESS THAN 24" X 36", IT IS A REDUCED PRINT. REDUCE SCALE ACCORDINGLY

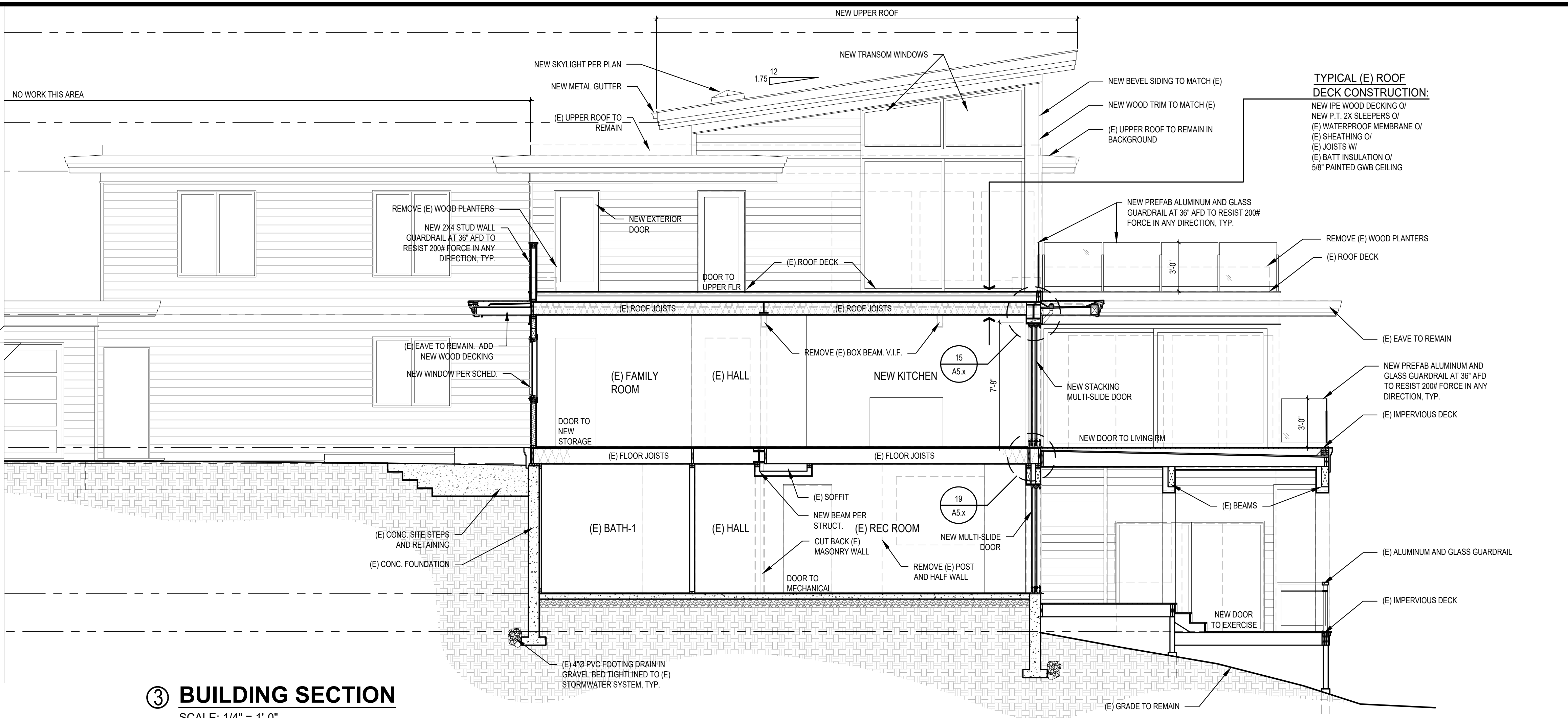
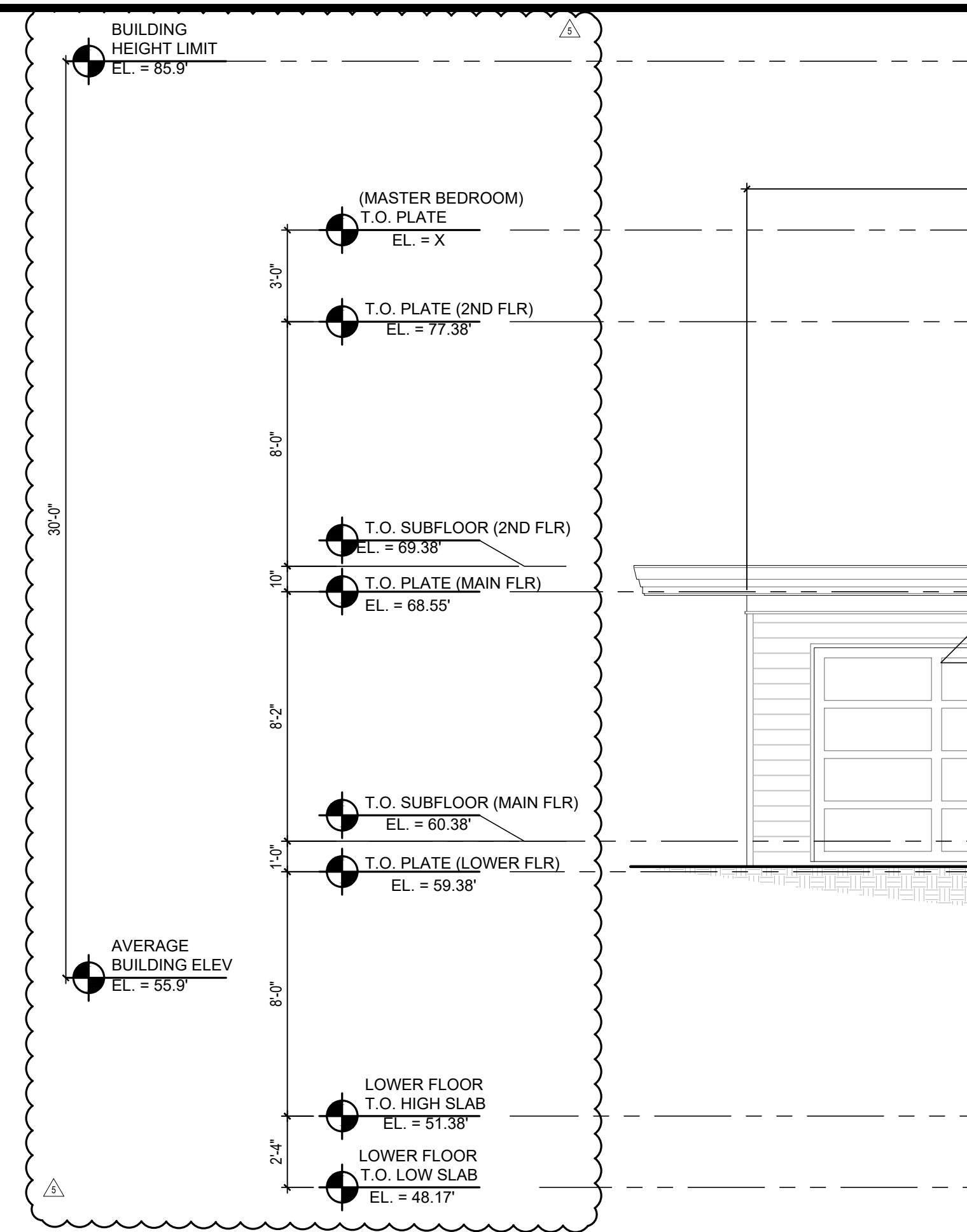
CONSTRUCTION SET 04/23/20 PLOT DATE: 4/23/2020



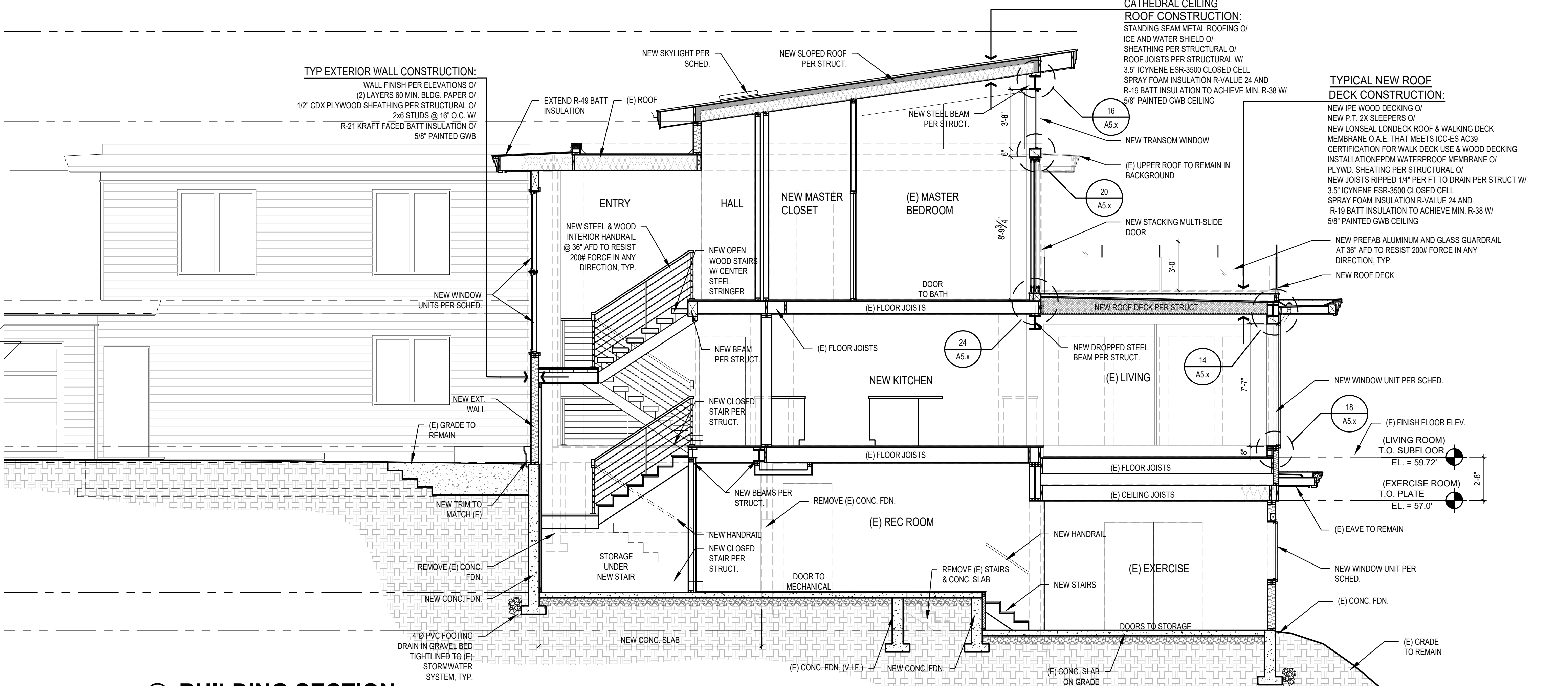
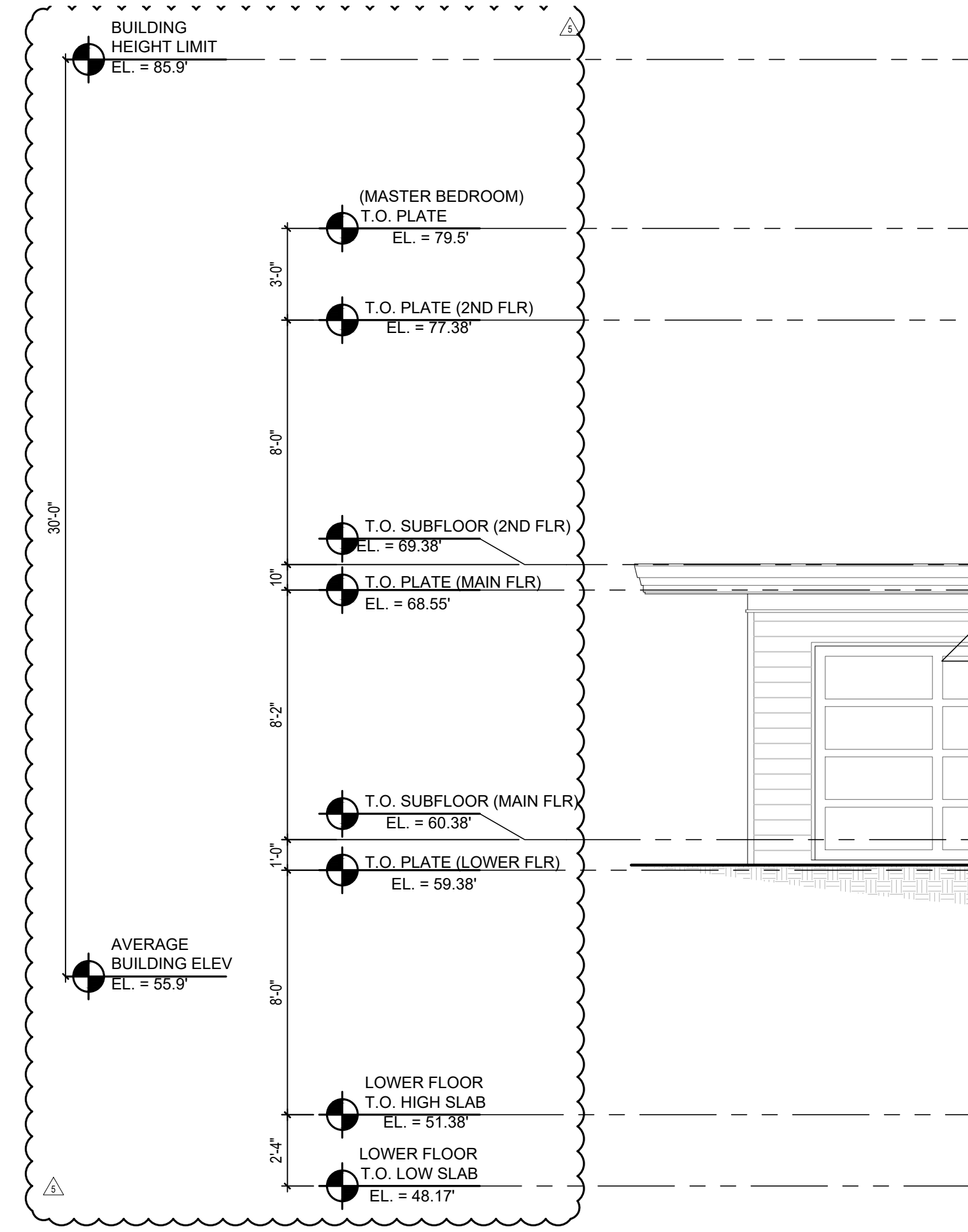
**1 BUILDING SECTION**  
SCALE: 1/4" = 1'-0"



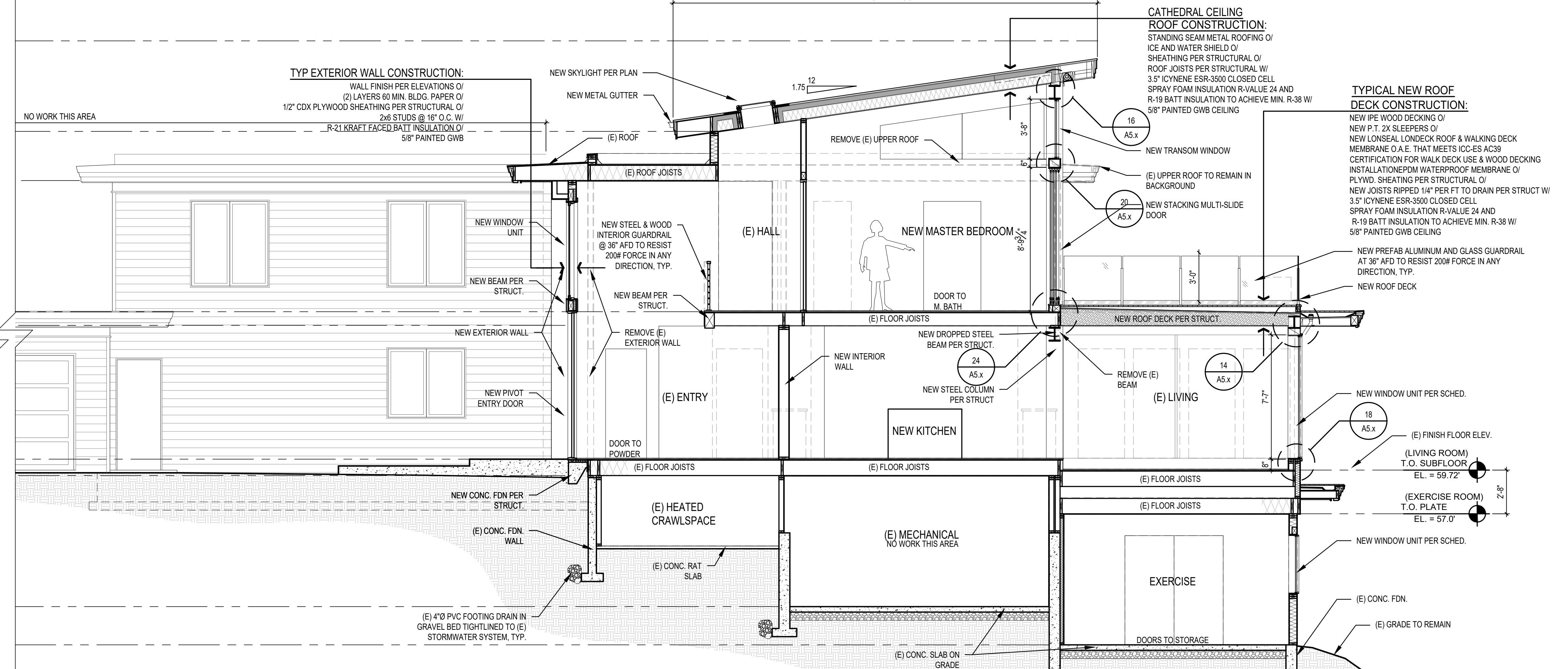
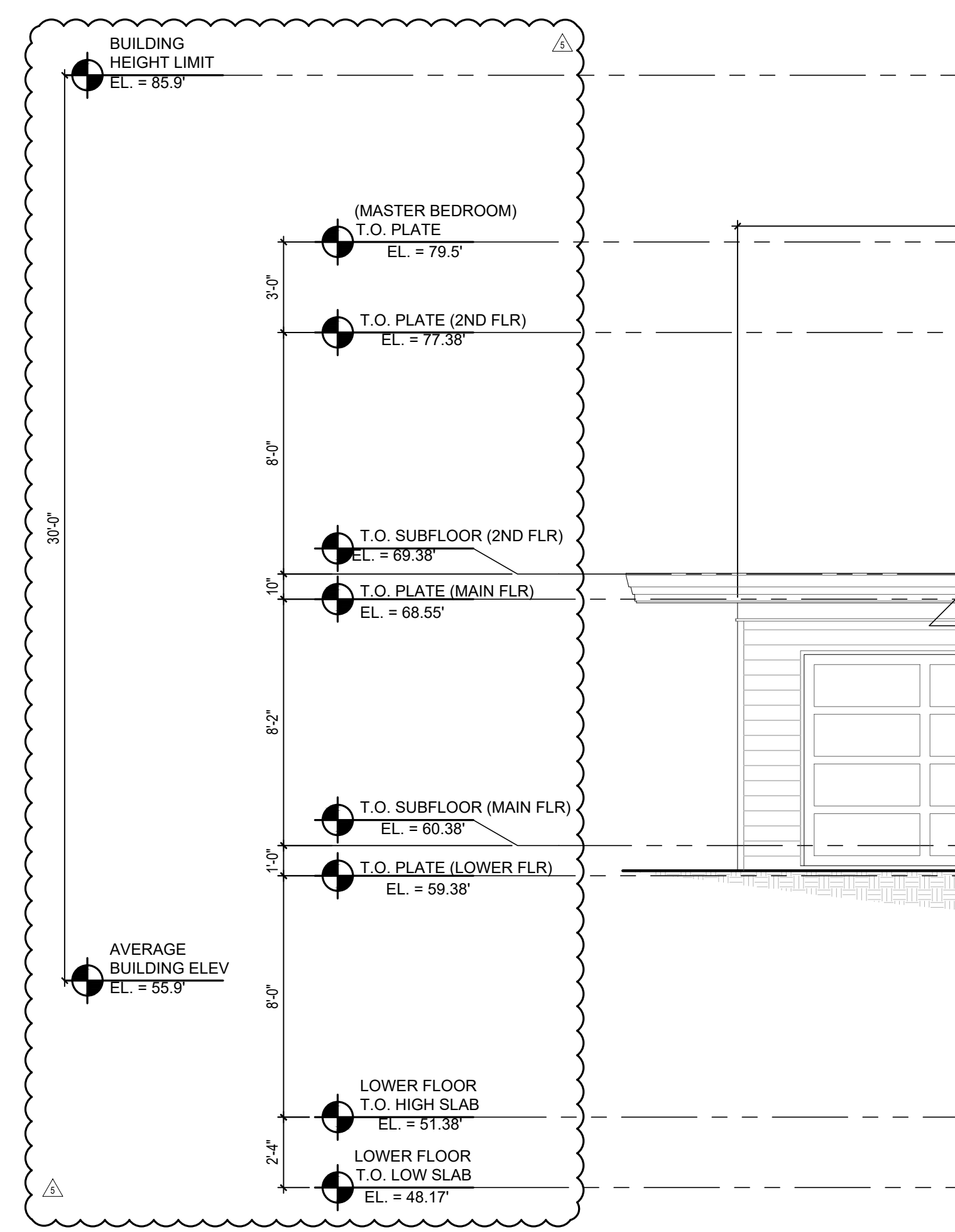
**2 BUILDING SECTION**  
SCALE: 1/4" = 1'-0"



**③ BUILDING SECTION**  
SCALE: 1/4" = 1'-0"



**④ BUILDING SECTION**  
SCALE: 1/4" = 1'-0"



**5 BUILDING SECTION**  
SCALE: 1/4" = 1'-0"

REVISIONS:	2019-03-27 DESIGN REVISIONS
	2019-04-08 DESIGN REVISIONS
	2019-11-20 PERMIT CORRECTIONS
	2020-06-08 FRAMING REVISIONS
	2020-04-29 ABE REVISION

DRAWN BY: KE

CHECKED BY: BJS

SHEET

**A4.2**